



DESIGN STANDARDS FOR WATERTOWER PARK

I-29 + HIGHWAY 92

PLATTE CITY, MISSOURI

CONFLUENCE

JANUARY 19, 2018

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1 DEVELOPMENT OBJECTIVES

INTRODUCTION

This booklet contains guidelines and design standards for the WaterTower Park development in Platte City, Missouri. These standards have been approved by the City of Platte City and are intended to supplement the recorded project covenants. Together with the project covenants, these standards will be used to attract a variety of residential and commercial users and tenants and to create and preserve an attractive mixed-use development of the highest quality envisioned by the Property Owners and the City.

This document shall comprise the design and land use guidance for the WaterTower Park development. It is recognized that modifications and changes may be necessary over the life of the project due to site changes and market conditions. The Planning Commission/Board of Alderman has the ability to consider major changes to the Master Plan and such approval shall be solely in their discretion.

Before submitting your application and plans to the City for development plan approval, you must submit three copies of your preliminary plans for development of your site to the Developer's Agent for review and approval. The plans shall indicate, at a minimum, your site concept, parking and access, landscaping, utility layout and a building design concept. In addition, your plans should be in accordance with the City's requirements for development plan approval.

After you receive review comments and approval from the Developer's Agent, finish your final development plans in accordance with the comments and the City's requirements and submit three copies to the Developer's Agent at the same time you submit your application and plans to the City. Remember, the City will not process your application until it has received approval from the Developer in writing.

If you need assistance, you may contact the Developer or any of the parties below:

DEVELOPER'S AGENT:

Spinnaker Commercial Reality, Inc.
c/o Evergreen Real Estate Services
Phone (913) 951-8417
Jim Harpool
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DEVELOPER'S LANDSCAPE ARCHITECT + PLANNER:

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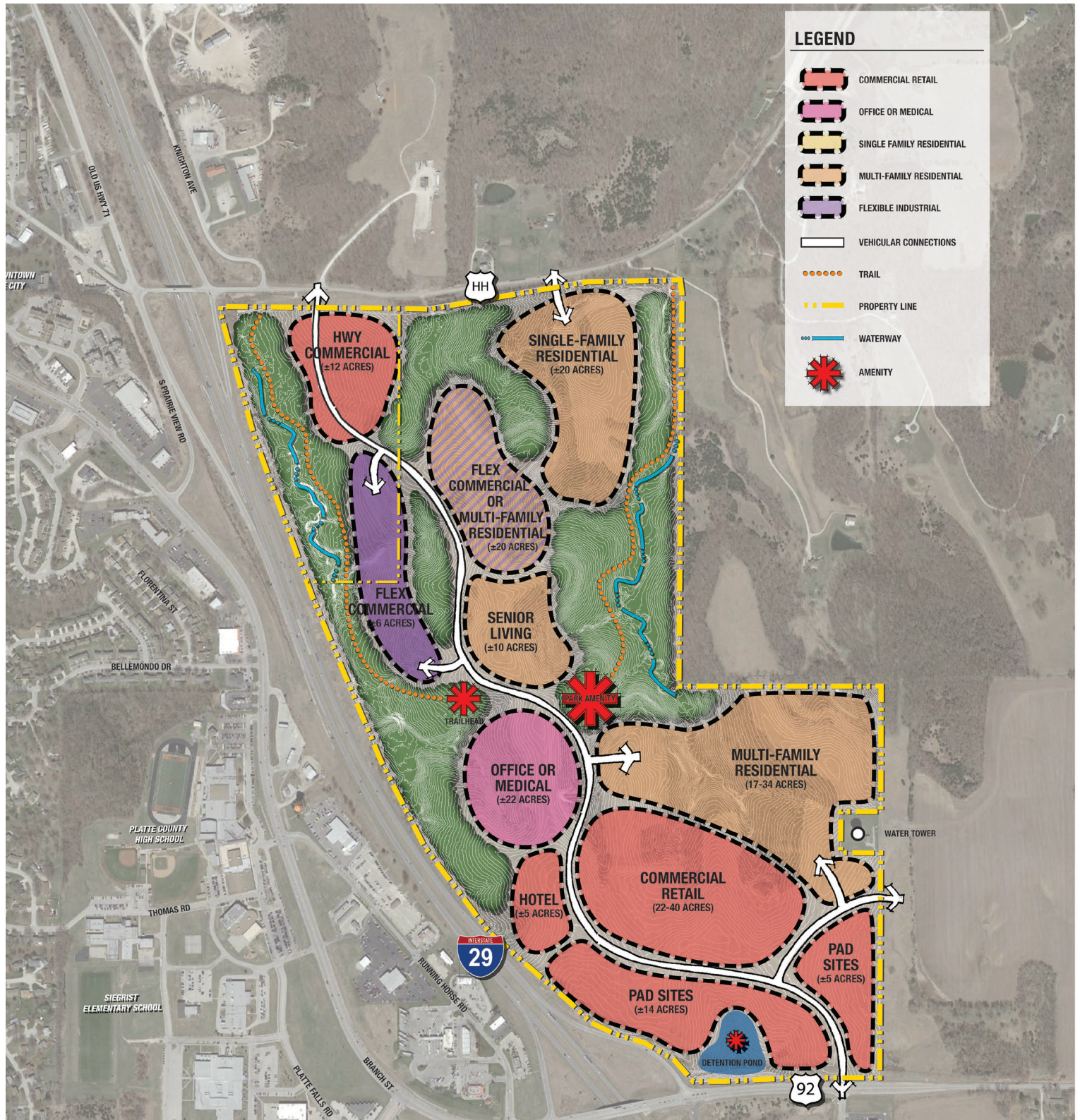


EXHIBIT A - LAND USE PLAN

LAND USE PLAN

In order to accommodate the proposed mixed-use plan for multiple property owners, the approved Land Use Plan (on Page 3) is an integral part of the guiding principles and design standards for WaterTower Park. The approved land use plan allows a mixture of uses and with these Design Standards governs how those uses interact and benefit each other.

Several options for providing access to the site with public street connections were explored, including connections to HH Highway on the north and several alternatives for connection to 92 Highway on the south. Based on reviews and coordination with the City, stakeholders, and MoDOT, the locations and alignment of the preferred street connections have been integrated into the land use plan as outlined in Exhibit A.

REQUIRED SUBMITTALS**PRELIMINARY SITE DEVELOPMENT PLAN (PSDP):**

A WaterTower Park (WTP) PSDP identifies the site, building location, ingress/egress, parking, landscaping, preliminary contours, detention, pedestrian circulation and connection, signage location and any other major features.

The PSDP shall be reviewed by the Planning Commission and approved by the Board of Alderman prior to the review and approval of the Final Development Plan. The Planning Commission will not review a preliminary development plan that has not been reviewed and approved by the Developer and the Developer's Agent and/or Landscape Architect/Planner.

FINAL SITE PLAN:

A final site plan will be required for each parcel or lot. The Final Site Plan shall be in conformance with the general development intent of a mixed-use development, the approved land use plan and in substantial conformance with the Preliminary Site Development Plan.

DESIGN GUIDELINES

INTRODUCTION

The design criteria and guidelines have been drafted and adopted by the City and WaterTower Park property owners as required development standards. Although policies and ordinances are in place for all such uses allowed in WTP, these standards provide an overall base to elevate the development to provide for long-term stability and sustainability of the overall development.

The following is a list of overall expectations for design, architecture and construction:

- Provide an identifiable gateway to Platte City and lead development of Platte City east of Interstate 29.
- Provide an iconic feature that identifies and is recognized as WaterTower Park.
- Provide safe, visible site entries
- Provide pedestrian connectivity between parcels and uses.
- Service areas that are located at the rear or sides of buildings and screened when necessary
- Main entries to buildings shall be easily identifiable.
- Coordinated lighting on all parcels for both parking lot and pedestrian scale lighting.
- Coordinated landscaping including required species for street and property line trees.
- Coordinated parcel identification signage that is uniform in base and materials.
- Site building placement, architectural style and site design to promote a functional and attractive environment that compliments neighboring parcels.

SITE DESIGN / PLANNING

This booklet outlines the general criteria that will ensure an overall successful and integrated design of the WaterTower Park development. The following points apply to the general site design, and may be reinforced in other sections of this booklet.

- The development design, including the arrangement and placement of building and site amenities, shall be pedestrian-oriented and vehicular friendly.
- Building orientation shall be carefully placed so that the view of the building can be easily identified from the main street.
- Landscape areas shall be combined to form pedestrian plazas, open spaces and other focal points within the site.
- The impact of your site on adjacent sites shall be minimized by controlling building orientation, site design, landscaping and architectural design.
- The circulation, utility and storm drainage systems within your site shall be designed and constructed so they conform to the master utility plan.
- Trash enclosures shall be strategically located but not obvious.
- Large parking lots shall be divided into smaller parking areas using landscape strips, peninsulas or grade separations to reduce the visual impact of large expanses of paving, direct vehicular traffic through the parking lot, and provide a location for pedestrian walks.
- Decorative paving materials and pedestrian amenities such as pedestrian lighting and seating shall be used to accent pedestrian spaces at building entrances, courts, plazas and along pedestrian walks.
- All parking lot striping shall be white.
- All utilities shall be underground.
- All utility required boxes – sectionalizers, transformers, surface pull boxes – must be set plumb and in a location on the site that will allow landscape screening on all four sides. In some instances (and at the discretion of the City) the utility box landscaping may be restricted to three sides to facilitate maintenance and emergency response access.



Preferred Development Character



Preferred Development Character



Preferred Development Character



Preferred Development Character



Preferred Development Character



Preferred Development Character



Preferred Development Character



Preferred Development Character



Preferred Development Character



Preferred Development Character

ARCHITECTURE

- The architectural style should take into account the site and include attention to form, size, color, articulation, materials, roof lines and adjacent buildings (if approved, under construction or in place at time of submittal).
- Property Owners and Platte City want to provide users and tenants the opportunity to use local, regional or national design themes for buildings while tying all parcels together with unifying elements. These elements include common or consistent:
 - Monument signage bases.
 - Landscaping elements, particularly street trees, shrubs and site entry landscape highlights.
 - Parking lot stripping color
 - Site lighting fixtures in manufacturer, style, color and bases. Height may vary.
 - Information signage
 - Trash enclosure doors
- High quality architecture is encouraged throughout the development that is appropriate for the use type. This includes enhanced and easily identifiable entries with vertical features and or higher quality building materials.
- Building articulation is encouraged to create shadow lines and more interesting facades.
- Minimize blank walls by including windows, change in color, texture, materials or adding reveals or projections.

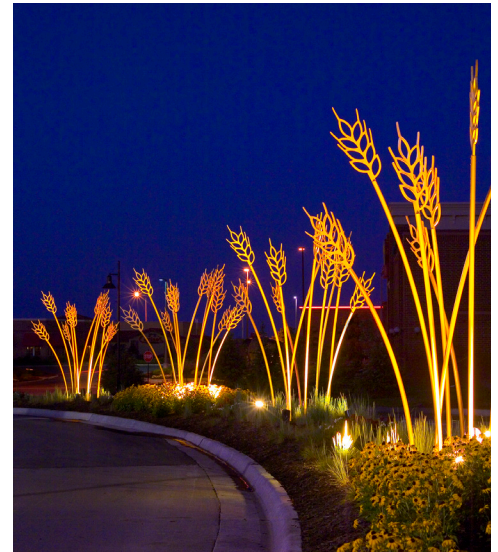
LANDSCAPING

Site landscaping criteria creates well-designed and functional building sites and parking lots. Landscaping within a parking lot should be incorporated in an attractive and maintainable manner that minimizes the visual impact of surface parking and creates no unsafe conditions. All sites are required to install landscaping in accordance with the master landscaping plan. All landscaping shall be maintained to “Class A” standards.

- Landscape design and species will be used to create visual continuity throughout the Development.
- Landscape areas should be combined to form larger clusters at highly visible locations such as landscaped courts, plazas or common areas.
- Landscape design should create variety, interest and areas for visibility.
- A variety of different species (including both deciduous and evergreen species) will be incorporated into the site design to provide visual interest, as well as disease and pest resistance.
- Required landscape plantings shall be coordinated with the location of utilities, driveways and traffic clearance zones. Landscaping should not hide functional signs or block site lighting.
- Plant materials will be placed intermittently against long expanses of building walls, fences or other barriers to create a softening effect.
- Parking lots will be designed to separate pedestrians from vehicles and include protected pedestrian walkways within parking areas, which lead to building entrances.
- Up-lighting to highlight landscape areas/trees is encouraged.
- All landscape areas shall include an underground irrigation system approved by the Developer's Agent.
- All landscaping between curbs at parking lots and the street and adjacent to the street will be reviewed and approved by the Developer's Agent. Street trees, shrubs, flowers will be limited in species throughout WaterTower Park to provide a unifying element through the development.



Landscaped Plaza



Up-Lighting that Highlights Landscape Areas



Landscaping between Curb and Parking



Landscape Continuity



Parking Lot Screening



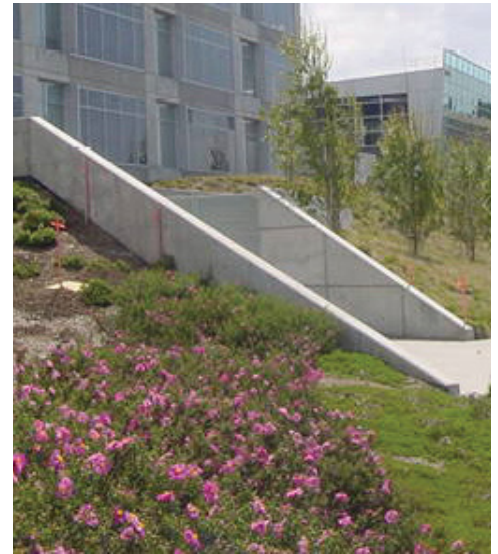
Separated Pedestrian and Vehicular Circulation

- Landscaping that dies shall be replaced by the parcel owner with the same species and size as approved on the original plan.
- Trees that drop fruit, flowers and nuts shall not be used near pedestrian walkways.
- Particular care shall be taken at ingress/egress points for all sites to protect landscaping from vehicular traffic.
- Traffic patterns shall be considered such that pedestrian crossing of landscaped areas is minimized or eliminated.
- All single family lots shall include at least two overstory trees for street trees. All other lots shall include one overstory tree for every 40 feet of street frontage.
- Foundation landscaping shall be provided at all buildings that face public rights-of-way. Foundation plantings at the sides and rear of buildings are not required unless they are adjacent to paved surfaces. In such case the landscaped area shall be a minimum of 6 feet wide.
- Parking lot screening:
 - At a minimum, parking lots shall be screened per the City of Platte City codes and ordinances.
 - The use of earth berms, landscape screening, walls and changes in elevation are encouraged on all parcels.
 - Berms and sodded areas shall have a slope no greater than 3:1.
 - Parking Lot Planting
 - All islands at the end of parking aisles shall have a minimum of one tree in each island.
 - All parking lot trees shall be coordinated with site lighting poles so as to not restrict the lighting or shield the site lighting.
 - All islands shall have an automatic irrigation system.
 - All islands, medians and planting areas within parking lots must be landscaped with shrubs, living groundcover, sod, grasses or other living material.
 - All landscaping shall consider site lines, security and winter snow and icing in the design.

TRASH ENCLOSURES

The following criteria ensure that trash containers will be hidden from public view in the most effective manner.

- Trash containers will be screened from public view on three sides with a six to eight foot-high screen of masonry, precast or other building materials that match building material in color and pattern (depending on height of containers).
- Trash enclosures should not be placed in an area along a public street or in a location that adversely affects adjacent lots.
- Access doors on the enclosure must be constructed with steel frames and prefinished metal siding for durability. The color must coordinate with building material.
- Pedestrian access door at side or rear of all enclosures is recommended but not required.
- All trash enclosure pads and pick up area outside of the enclosure must be concrete in a depth and design as recommended by site engineer.



Screened Trash Container



Steel Access Door



Landscape Screening



Ribbed Parapet Wall



Rooftop Equipment Screened by Architect-



Parapet Wall Matches Architecture

ROOFTOP SCREENING

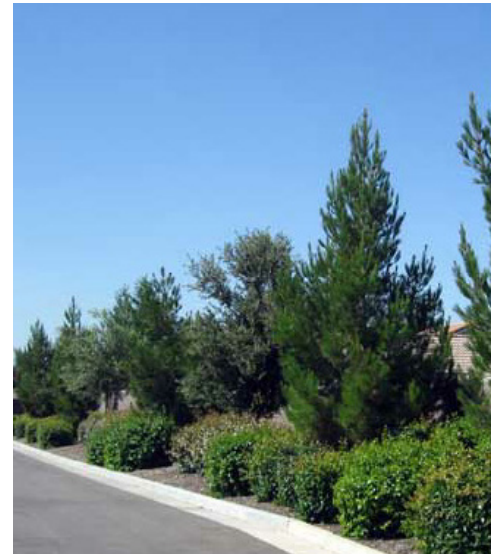
Screening rooftop equipment ensures a higher quality of architectural design. These guidelines will be considered in the overall design and appearance of the building to enhance the appearance by screening rooftop equipment. Rooftop mechanical equipment includes HVAC units, fans, vents, flues and other similar devices.

- The use of parapet walls or specially designed rooftop penthouse enclosures are the preferred methods of screening rooftop mechanical equipment.
- Partition screens are generally less desirable for screening purposes. However, when using partition screens, the use, design and material of the screen should blend with the building architecture and create a massing hierarchy that projects the same high quality appearance as the building facade.
- The number of vents and flues will be kept to a minimum and located so not to be visible. On sloped roof structures, vents and flues shall be incorporated into architectural features or painted to blend with the roofing material.
- Screens or parapet walls must be at least as high as the equipment they are screening.
- Screening shall take into account adjacent properties and grades to minimize the impact on adjacent property and/or building views.

SCREENING OF GROUND & WALL-MOUNTED MECHANICAL / ELECTRICAL EQUIPMENT

When feasible, all mechanical/electrical devices and areas shall be located within the building. When it is not feasible to locate these devices and areas within the building, these criteria ensure that ground and wall-mounted mechanical/electrical devices are appropriately screened to project a high-quality appearance. Generally, all exterior ground or wall-mounted equipment, including, but not limited to, mechanical equipment and utility meter banks shall be screened from public view with landscaping or an architectural treatment compatible with the building architecture. Mechanical equipment must be located and screened so that it is not visible from adjoining properties.

- Finish cooling towers with the same building materials and architectural detailing as the main building facade.
- Coordinate the same material and detailing as the building facade with screening walls or specially designated enclosure cabinets for utility meters.
- Use evergreen species as the primary planting material when landscaping is used for screening purposes. The size/height of all landscape plantings proposed for use in screening wall-mounted meters shall be at least one (1) foot above the top of the meter at the time of planting.
- The visibility of meters and utility banks (e.g., gas, electric, telephone) will be reduced by locating such equipment along the side or rear of the building in a location not visible to the public. Screening may still be required.
- Every attempt shall be made to locate all above ground electrical and/or telephone cabinets within the interior side or rear building setback yards. Any and all above ground utility cabinets/equipment shall be fully screened with appropriate landscape plantings around all four sides, while providing adequate space on one side of each cabinet (as required) for utility access needs.



Evergreen Screening



Utility Screening



Screen Wall to Match Building Facade

LOADING DOCK & SERVICE AREA SCREENING

Service activities will be oriented on the property in a manner consistent with the character of the area. Privacy and aesthetic considerations are to be observed. The following steps help ensure these goals:

- Unattractive elements, such as trash, service and loading areas will be located out of public view from streets and other highly visible areas.
- If the “back or sides” of the buildings must be oriented toward public streets or highly visible areas, such areas should provide visual interest through a combination of architectural detail, landscaping and berms.
- Buildings should be designed so that loading docks and service areas are screened from view either by a building wall or a screening wall, or integrated into the building design to not be noticeably visible.
- Screening walls should reflect the same level of architectural design as the primary structure, including elements such as landscaping to soften the walls' appearance, architectural detailing and visual interest.
- Design elements must control noise and lighting generated from service activities.



Loading Dock Located Away from Street



Loading Dock Concealed



Screen Wall to Match Building Facade

SITE LIGHTING

- All site lighting fixtures for parking lot lighting shall be as specified by the Developer's Agent. A common fixture in style, color and lighting source is specified to provide a unifying element throughout the development.
- All parking lot lighting, site lighting, and building wall mounted lighting shall be fully shielded to minimize/eliminate any spillover of light onto adjacent properties as required.
- All lighting in paved areas shall be installed on a common base, concrete, a minimum of 30 inches in height with a sack-rubbed concrete finish, natural color.
- Pedestrian walkways shall be lighted with pedestrian scale lighting at a minimum of 1.0 footcandle to enhance pedestrian safety.
- All lighting shall be activated by a photocell and turned off by time clock. All lighting shall included a reduced lighting level at night or after business hours.
- Accent and up-lighting is encouraged to highlight building facades, entries, landscape features, fountains and courtyards.

*Pedestrian-Scale Lighting**Common Fixture throughout Parking Lot*



Major Tenant Signage



Sub-Major Tenant Signage

SIGNAGE

SIGN CRITERIA

All monument signage identifying Retail Building Parameters:

1. Major Tenant – Leaseable area above 31,000 s.f.
2. Sub-Major Tenant – Leaseable area 8,000 s.f. – 30,999 s.f.
3. Small Shop Tenant – Leaseable area 0 – 7,999 s.f.
4. Out Parcel Tenant – Any freestanding building on a separately described lot.

The following types and amounts of signs will be permitted:

Major Tenant Sign Parameters

- The maximum height for letters in the body of the wall sign shall not exceed 72" in height.
- The total sign areas of each facade shall not exceed five percent (5%) of the area of the storefront or 300 s.f., whichever is less.
- The minimum height of all signage shall not be less than 2'6".
- Signs shall not extend more than 12" beyond the face of the surface to which the sign is mounted.
- Signage shall be individual letters mounted on the building surface and illuminated by commercially acceptable methods. The major tenant will be allowed one wall sign on the front facade, except end locations which shall be permitted one additional sign.

Sub-Major Tenant Sign Parameters

- Tenant sign area shall be on the building faces above the entrances and as part of the building design.
- The maximum height for letters in the body of the sign shall not exceed 5' in height.
- The sign areas shall not exceed five percent (5%) of the area of the storefront or 160 s.f., whichever is less.
- The minimum height of all signage shall not be less than 24" in height.
- Signage shall be illuminated individual can letters mounted on a concealed raceway.

- Signs shall not extend more than 6" beyond the face of the surface to which the sign is mounted.
- Reversed halo lighting may be acceptable, but shall be reviewed on an individual basis.

Small Shop Tenant Sign Parameters

- The maximum height for letters shall be 30".
- Signs shall not extend more than 6" beyond the face of the surface to which the sign is mounted.
- All signs must be illuminated and shall derive light from a concealed source. No exposed lamps, globes, tubes, etc., will be permitted.
- Signage shall be illuminated individual letters mounted or on a concealed raceway.
- Reversed halo lighting may be acceptable, but shall be reviewed and approved on an individual basis.

Out Parcel Tenant

- The maximum height for letters in the body of the sign shall not exceed 36" in height.
- The sign areas shall not exceed five percent (5%) of the area of the storefront or 60 s.f., whichever is greater.
- A maximum of two (2) wall/fascia signs are allowed.
- Signage shall be illuminated individual letters mounted on a concealed raceway.
- Signs shall not extend more than 6" beyond the face of the surface to which the sign is mounted.

GENERAL SIGN PARAMETERS

All signs must be made up of individual illuminated letter; conventional box signs will not be approved.

- Lettering on all store signs shall be limited to business or trade name of the premises as it appears on the lease. No sign manufacturer's name, union labels, or other lettering shall be visible. Logo signs will be reviewed on an individual basis, but in general, national Tenants with recognizable logos within or adjacent to their trade name are acceptable. All logos shall adhere to the requirements of this Criteria and shall receive written approval from Developer's Representative to fabrication.



Small Shop Tenant Signage



Out Parcel Tenant Signage



Small Shop Tenant Signage



Small Shop Tenant Signage

- Prior to fabrication of any signage item, sign contractor shall verify that the total signage area for tenant shall not exceed the allowable signage area as set forth by the City of Independence Signage Ordinance.
- Each tenant shall submit or cause to be submitted to the Developer's Representative for review, before fabrication, at least four (4) copies of detailed drawings indicating the location, size, layout, design, and color of the proposed signs, including all lettering and/or graphics. Tenant shall have received approval of his submission prior to any sign fabrication.
- Tenant shall note that approval action by the Project Architect and Landlord will generally take approximately ten (10) days. No installation will be permitted without prior approval.
- The tenant or his representative shall obtain all permits for signs and their installation.
- All signs shall be constructed and installed, including electrical hookup, at Tenant's expense.
- No exterior sign or sign panel will be permitted to extend above any roofline.
- Manufacturers' labels, underwriters' labels, clips, brackets, or any other form of extraneous advertising attachment or lighting devices shall be fully concealed from public view.
- No exposed lamps or tubing will be permitted.
- No exposed raceways, crossovers or conduits will be permitted.
- All signage returns shall blend with adjacent building color.
- All cabinets, conductors, transformers and other equipment shall be concealed from public areas; visible fasteners will not be permitted.
- All metal letters shall be fabricated using full-welded construction, with all welds ground smooth so as not to be visible.
- Acrycap or trimcap retainers used at the perimeter of sign letter faces shall match in color and finish the face or the sides of the sign.
- Threaded rods or anchor bolts shall be used to mount sign letters, which are spaced out from the background panel. Angle clips attached to letter sides will not be permitted. All mounting attachments shall be sleeved and painted.

- Except as provided herein, no advertising placards, banners, pennants, names, insignia, trademarks, or other descriptive materials shall be affixed or maintained upon the glass panes and supports of the storefront windows and doors, within 4' of the storefront.
- Any Plexiglas sign faces shall be frosted not clear.
- Sign illumination shall be internal and self-contained.
- All electric signs and installation methods must meet UL standards and contain a UL label.
- At no time will hand-lettered, non-professional signs, or newspaper advertisements be displayed on storefronts.
- Decals or other signing indicating product lines or credit card acceptability shall not be permitted on the storefront glazing other than stores operating hours.
- All illuminated signs must be turned on during the Center's normal operating hours. The use of time clocks for sign and show window lighting is required. All signage shall be connected to tenant's electrical service.
- Lighting of signs shall be at hours as required by Landlord.
- Tenant's sign contractors shall repair any damage caused by said contractor's work, or by its agents or employees.
- All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and shall be patched to match adjacent finish.
- All Out Parcel, Major and Sub-Major Tenants will be allowed one 4' x 8' temporary construction sign prior to any opening of shopping center tenants. Coordinate location with Landlord's Representative.



Small Shop Tenant Signage



Not-Permitted Tenant Signage

SIGNS NOT PERMITTED

The following types of signs shall not be permitted:

- Signs such as die cut vinyl, gold or silver leaf, or paint.
- Boxed pillow or cabinet type.
- Formed plastic or injection molded plastic signs.
- Banners or pennants.
- Signature signage (window sign or sign plate indicating name of shop or goods sold) in addition to primary signage.
- Cloth, paper, cardboard and similar stickers or decals around or on surfaces on the storefront without prior written approval.
- Animated, moving, rotating or flashing.
- Noise making.
- Exposed neon.
- Additional signage of any kind within 4' of storefront windows.

ADDITIONAL SIGNAGE

Service doors to Tenant spaces throughout the project shall be standard identification only (name and address number) and shall be installed by the Tenant. The Tenant shall not apply any signage or other wording to service doors.

- All signage must be shown to scale on the approved storefront elevation.
- All additional signage shall be submitted to the Developer's Representative for approval as specified in Section Two.